



ALWOOD

It has it all



# Design Guidelines

June 2017 V1.0

# TABLE OF CONTENTS

<b>1.0</b>	<b>INTRODUCTION</b>	<b>3</b>
1.1	DESIGN PHILOSOPHY	4
1.2	PURPOSE OF THE GUIDELINES	4
<b>2.0</b>	<b>ALWOOD SITE MASTER PLAN</b>	<b>6</b>
<b>3.0</b>	<b>DEFINITIONS</b>	<b>8</b>
<b>4.0</b>	<b>SUSTAINABILITY</b>	<b>10</b>
4.1	GENERAL	11
4.2	ORIENTATION	11
4.3	PRIVATE OPEN SPACE	11
4.4	COMPOST FACILITY	11
4.5	ENERGY	12
4.6	SHADING	12
4.7	WATER CONSERVATION	12
4.8	ENVIRODEVELOPMENT CERTIFICATION	13
<b>5.0</b>	<b>DESIGN &amp; SITING PRINCIPLES</b>	<b>14</b>
5.1	OBJECTIVES	15
5.2	GENERAL REQUIREMENTS	15
5.3	GARAGES	16
5.4	ROOFLINES	17
5.5	FACADE VARIATION	18
<b>6.0</b>	<b>COLOURS &amp; MATERIALS</b>	<b>19</b>
6.1	OBJECTIVES	20
6.2	WALLS	20
6.3	ROOF	20
6.4	GARAGE DOOR	20
6.5	EXTERNAL COLOURS	21
6.6	WASTE MANAGEMENT	21
6.7	EMISSIONS	21
<b>7.0</b>	<b>SETBACKS</b>	<b>22</b>
7.1	OBJECTIVES	23
7.2	REQUIREMENTS	23
<b>8.0</b>	<b>FENCES</b>	<b>24</b>
8.1	OBJECTIVES	25
8.2	FRONT FENCING	25
8.3	SIDE & REAR FENCING	25
8.4	CORNER FENCING	25
8.5	GENERAL	25
<b>9.0</b>	<b>DRIVEWAYS</b>	<b>26</b>
9.1	OBJECTIVES	27
9.2	REQUIREMENTS GENERAL	27
<b>10.0</b>	<b>SERVICES &amp; ANCILLARY ITEMS</b>	<b>28</b>
10.1	OBJECTIVES	29
10.2	REQUIREMENTS GENERAL	29
<b>11.0</b>	<b>AMENITY IMPACTS</b>	<b>30</b>
11.1	OBJECTIVES	31
11.2	OVERLOOKING & OVERSHADOWING	31
<b>12.0</b>	<b>LANDSCAPING</b>	<b>32</b>
12.1	OBJECTIVES	33
12.2	REQUIREMENTS GENERAL	33
<b>13.0</b>	<b>FENCING TEMPLATE</b>	<b>38</b>
<b>14.0</b>	<b>APPLICATION FORM</b>	<b>41</b>



# 1.0 INTRODUCTION



# ALWOOD: DESIGN GUIDELINES

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## 1.0 INTRODUCTION

### 1.1 DESIGN PHILOSOPHY

The Alwood master plan features a diverse mixture of lot types, intended to cater for a wide range of homebuyers. A consistent aesthetic theme throughout the community will allow dwellings on varying lot types to integrate with each other, protecting each buyers investment.

Design principles representing contemporary Australian architecture will encourage unique design solutions, a variety of built form and the development of a diverse and inviting neighborhood.

An abundance of design options are available to today's home builder, including a variety of construction materials and finishes which are developed to increase the functionality, livability and efficiency of a dwelling. The design process should consider a variety of factors relating to aesthetic appearance, durability of materials, running costs, environmental sustainability, as well as resulting comfort and lifestyle.

### 1.2 PURPOSE OF THE GUIDELINES

In order to achieve a high quality of design and construction at Alwood, specific safeguards have been implemented by the developer in order to protect the interests of all residents.

The Design Guidelines also serve as reassurance for residents expecting a high quality of built form by minimizing the potential risk of disharmony occurring between neighboring dwellings.

Approval is required from the Design Assessment Panel (DAP) for the construction of all new dwellings, garages, fences, sheds and any other structures on any allotment within Alwood.

Upon receiving approval from the DAP, the applicant must then obtain building approval for the dwelling from the Local Council / independent Building Surveyor and/or any other governing authority. It is the responsibility of the applicant to ensure all proposed works meet relevant Authority approvals and the required permits are obtained. Approval of plans by the DAP does not imply that the plans comply with statutory approval requirements.

The DAP may waive or vary any requirement of these Design Guidelines at their discretion. These Design Guidelines may be amended on occasions at the developer's discretion to reflect changes in design trends or to coincide with the release of later stages.

The Design Assessment Panel can be contacted on:

**E: [dap@alwood.com.au](mailto:dap@alwood.com.au)**

**P: 03 9699 2133**



# ALWOOD: DESIGN GUIDELINES

## Please Note:

Alwood is an NBN supported development and fibre to the home should be factored into all designs. All enquiries should be directed to the NBN.

Alwood has also made provisions for the supply of recycled water and third pipe connections should also be factored in. All enquiries should be directed to City West Water.

It is the applicants' responsibility when building a home to comply with Victoria's energy rating requirements. Dwelling designs should be assessed by a licensed energy rating company, and they in turn will make recommendations regarding insulation and other resource saving measures. Dwellings must achieve the minimum standard as currently legislated, however owners are encouraged to exceed these requirements.

## Lots less than 300m<sup>2</sup>

The Small Lot Housing Code has been applied to lots less than 300m<sup>2</sup>. These lots must also comply with the requirements of these design guidelines. In the case of conflict between the Small Lot Housing Code and these design guidelines, the requirements of the Small Lot Housing Code shall prevail.

## Documents Required for Submission

### Site Plan (scale 1 : 200)

Must indicate all boundary setback dimensions, total site coverage and floor areas, site contours, north point, easements, vehicle crossover, driveway and other non-permeable surfaces, fencing details, ancillary items, any proposed outbuildings and details of any proposed retaining walls.

### Floor Plans (minimum scale 1 : 100)

Must indicate all key dimensions, internal layout, including rooms, pergola, decks, terraces, balconies, verandahs, windows & doors, openings and ancillary items.

### Elevations (minimum scale 1 : 100)

Must include all 4 elevations and indicate building heights, finished floor to ceiling levels, roof pitch, eaves depth, external finishes, ancillary items, existing ground levels, proposed earthworks and details of any proposed retaining walls.

### External Colour & Material Selection

Must submit details of all proposed external colours and materials, including brands, colour names and colour swatches where possible.

Note: Plans, elevation, colours and materials must also be submitted for any proposed verandahs, carports, sheds or similar.

### Sustainability Compliance Report (refer to section 10.0)

### Signed Fencing Template (refer to section 13.0)

### Completed Application Form (refer to section 14.0)

### Lodging Applications

Applications must be emailed in pdf format to:

[dap@alwood.com.au](mailto:dap@alwood.com.au)





# ALWOOD: DESIGN GUIDELINES

## 2.0 ALWOOD SITE MASTER PLAN





## 3.0

# DEFINITIONS



# ALWOOD: DESIGN GUIDELINES

## 3.0 DEFINITIONS

### Lot Types

For the purpose of these Design Guidelines the following applies.



#### Standard Lots

A standard lot abuts another lot on each side and rear boundary and has a primary frontage only. Irregular allotment shape may be given special consideration by the DAP in relation to certain requirements of these Design Guidelines.



#### Corner Lots

These lots have 2 boundaries abutting a street. The front boundary abuts the shorter street boundary (primary frontage) and a side boundary abuts the longer street boundary (secondary frontage).



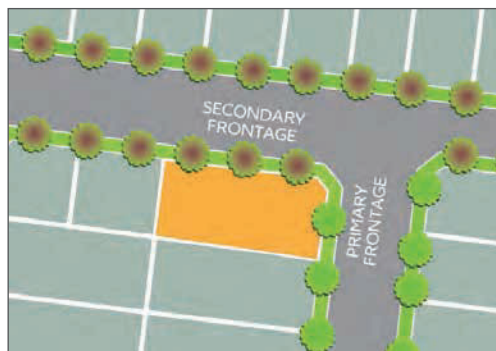
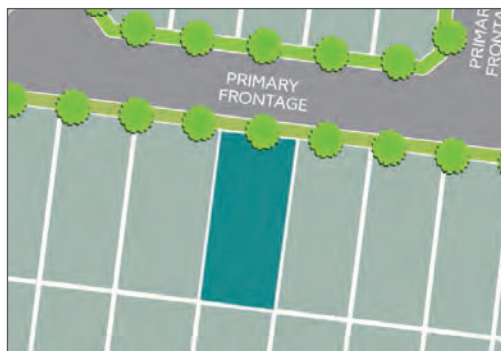
#### Reserve Lots

These lots abut a street and a reserve. The primary frontage abuts the street and a side boundary abuts a reserve.



#### Compact Lots

These lots are considered as either 'standard lots' or 'corner lots,' however the allotment size is less than 300m<sup>2</sup>. Lots less than 300m<sup>2</sup> are required to comply with the Small Lot Housing Code unless a Planning Permit is obtained from Council.





# ALWOOD: DESIGN GUIDELINES

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## 4.0 SUSTAINABILITY

### 4.1 GENERAL

The Design Guidelines recommends a range of design practices that will assist in achieving sustainable design solutions. Factors to be considered include:

- Appropriate solar orientation
- Rain water harvesting
- Water efficient plumbing
- Plant species with low/no watering requirements
- Permeable surfaces
- Deep Eaves
- Solar generated power and hot water
- Energy efficient lighting
- Passive heating and cooling.
- Double glazing
- Insulation
- Finished surfaces with limited future maintenance

Dwellings are to achieve a minimum 6 star NatHERS rating.

Application must explain how each of the following elements are being addressed in the design.

### 4.2 ORIENTATION

Proper orientation of your home will help manage climatic conditions and contribute to the creation of favorable microclimates within the home. Proper orientation is environmentally responsible, can save you energy running costs and increase your enjoyment of your home.

Correct orientation should:

- Maximise the northern aspect of day time living areas and private open spaces (courtyards, patios etc) while sleeping and services spaces should be located to the south
- Avoid prolonged exposure and unwanted heat loading to living areas during hot summers
- Maximise natural light and solar access to living areas during cold winters

### 4.3 PRIVATE OPEN SPACE

Private open space areas should be well integrated with internal living areas and take advantage of the northerly aspect. They should be designed for privacy from adjacent buildings and provide low maintenance open space areas that facilitate opportunities for recreational and social activities, passive amenity and landscaping.

### 4.4 COMPOST FACILITY

It is recommended that each dwelling provide an onsite compost facility for individual household use.

# ALWOOD: DESIGN GUIDELINES

## 4.5 ENERGY

Highly recommend the use of energy sustainable design features that aim to reduce green house gas emissions and the ultimate running costs of the dwelling. Careful and appropriate selections of energy sustainable features will have long term benefits for home owners and the environment. This can be achieved by adopting features like:

1. Lighting
  - a. Zoning
  - b. Incorporate maximum natural light
  - c. Introduce skylights
  - d. Dimmers
  - e. Motion sensors
  - f. Timers
  - g. Energy efficient globes
2. Hot Water System
  - a. Locate HWS as close to bathroom, kitchen or laundry
  - b. In design cluster wet areas to reduce pipe run
  - c. Insulate hot water pipes
  - d. Mandatory use of either gas hot water, heat pump or solar hot water in the design of the dwelling
3. Heating and Cooling:
  - a. Passive solar design encapsulating Thermal Mass construction. Keeping an area cool during the day and releasing the heat during the night. Use of materials with high thermal mass such as concrete floors, masonry walls, stone, ceramic surfaces - will assist with the overall thermal efficiency of the building.
  - b. Mandatory use of minimum National Construction Code compliant levels of insulation
  - c. Double glazing
  - d. Cross natural ventilation with windows and door
  - e. Create Zones and compartments for heating and cooling to avoid unnecessary energy consumption for areas not in use
  - f. Mandatory use of thorough draught seals

## 4.6 SHADING

Highly recommend the construction of eaves to the perimeter of the building where practical to extend long enough to block out the summer sun but allow the winter sun to penetrate through the windows. External louvres are encouraged for windows.

## 4.7 WATER CONSERVATION

Sustainability through water conservation will provide long term environmental and financial returns when implemented within the dwelling design. It is mandatory that the specification outlines:

1. AAA-rated water efficient taps and showers fittings
  - a. Showerheads that use  $\leq 6$  litres per minute
  - b. Taps to bathroom, kitchen and laundry that use  $\leq 6$  litres per minute
2. AAA-rating for dishwashers and appliances
  - a. Dishwasher with a water consumption of  $\leq 14$  litres per use
  - b. Dishwasher with an energy consumption of  $\leq 245$  kWh per annum
  - c. Air-conditioning system with a COP of  $\geq 3.20$  and EER of  $\geq 3.00$



# ALWOOD: DESIGN GUIDELINES

## 4.8 ENVIRODEVELOPMENT CERTIFICATION



Alwood's considered design approach focused on dwellings having a northern rear orientation which contributed to the estate achieving five sustainability elements for their EnviroDevelopment Certification.



### Other Intrapac Property developments that have achieved EnviroDevelopment Certification:



#### QUAY 2 - TORQUAY

QUAY2 is the first development within the Torquay precinct to receive EnviroDevelopment Certification, achieving all six elements.



#### SOMERFIELD - KEYSBOROUGH

Somerfield was the first estate to receive EnviroDevevelopment certification under the new UDIA national standards, achieving certification in three elements.



**ELLAROOK - TRUGANINA** is anticipated to achieve EnviroDevelopment Certification in the future.



# ALWOOD: DESIGN GUIDELINES

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## 5.0 DESIGN & SITING PRINCIPLES

### 5.1 OBJECTIVES

To ensure a high quality built form character for the neighbourhood.

To define a sense of local community that is achievable by each dwelling adopting contemporary Australian designs using quality materials, appropriate natural colours and sustainable and well landscaped gardens.

To create continuity of urban form and an articulated streetscape that respects the view corridors to landscaped areas and focal points within the neighbourhood.

To ensure that houses and gardens along reserves interact with and enhance public space areas through design and fencing techniques.

To maximise the opportunity for useable private open space.

### 5.2 GENERAL REQUIREMENTS

Dwelling designs must be contemporary, site responsive and sustainable.

The main entry must be located on the front elevation, facing the primary frontage. Any proposal for a main entry located on the side elevation of a corner lot will be assessed on its merits by the DAP.

Front elevations must include sufficient design detail. Large areas of blank or unarticulated walls will not be permitted. Refer to the example images on page 12.

Side elevations facing a road or reserve must also include sufficient detailing which matches and compliments the design of the front elevation. A corner 'feature' must be included to the portion of the elevation that will be exposed to the road or reserve.

Design details to be considered include:

- Windows
- Porches/porticos or verandahs
- Eaves
- External Materials
- Façade articulation and projections
- Pergolas
- Planter boxes and similar structures

Sliding windows are not permitted to front elevations or to side elevations facing a road or reserve.

Entry doors must be contemporary in design (no mouldings or carved patterns) and shall generally contain at least 20% glazing.

Lightweight materials (ie, fibre cement sheet) are not permitted above garage doors, windows or doors on front elevations or side elevations facing a road or reserve unless it is integral to the design of the dwelling.

# ALWOOD: DESIGN GUIDELINES

The width of the front elevation must comply with the following.

Lot width	Minimum width at ground floor	Minimum width at first floor (if applicable)
12.5m or less	85%	60%
12.6m – 16m	80%	55%
Greater than 16m	75%	50%

\*Variations may be considered at discretion of the DAP\*





# ALWOOD: DESIGN GUIDELINES

## 5.3 GARAGES

Garages must not dominate street elevations.

The garage door opening/s must not exceed 40% of the width of the primary frontage. Lots with a frontage of less than 12m may be given special consideration by the DAP, provided that the garage does not dominate the view of the front elevation.

Garage form and materials must compliment the design of the dwelling.

Accommodation for at least one vehicle in the form of an enclosed garage must be provided.

Garage doors must be sectional or tilt style doors. Roller doors are not permitted to street frontages.

Garages located on the secondary frontage of a corner lot will be assessed on their merits by the DAP.



# ALWOOD: DESIGN GUIDELINES

## 5.4 ROOFLINES

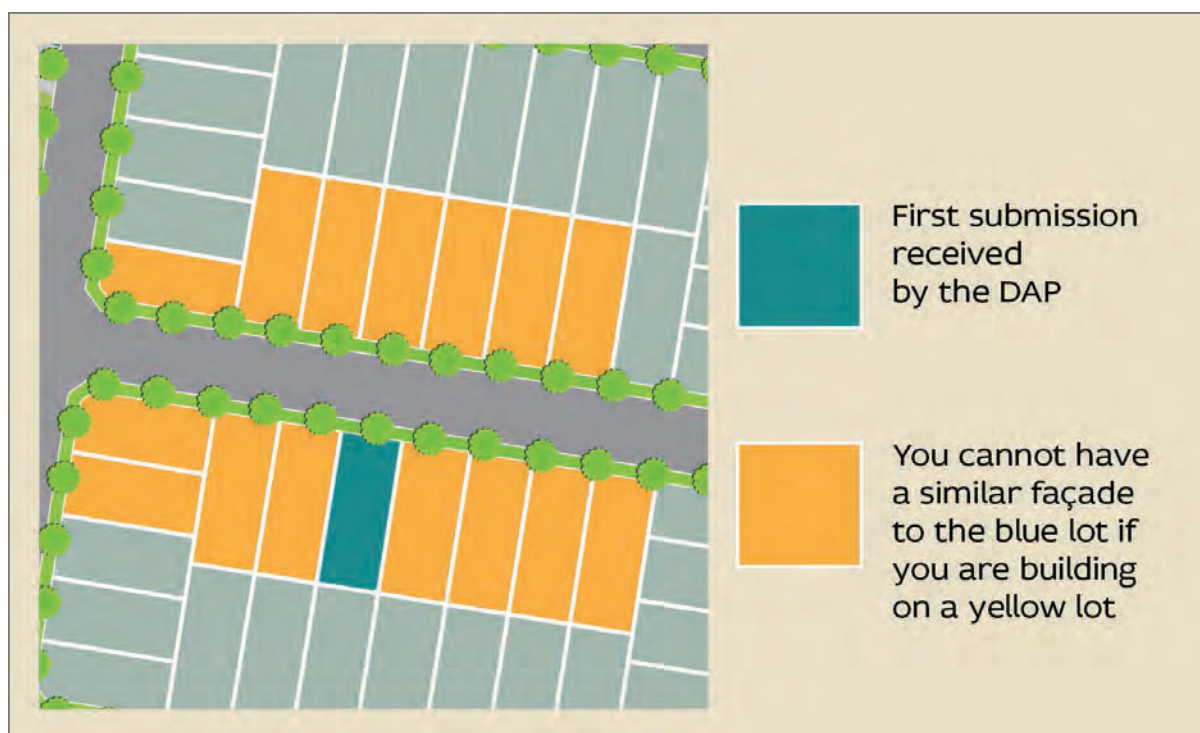
Roof pitches shall not exceed 25°.

Roofs must include eaves (minimum 450mm depth) to front elevations and side elevations facing a road or reserve. Eaves must continue for at least 3m along the adjoining elevations. Wall on boundaries and parapets are exempt.

Any proposed roof mounted fixtures must be of an appropriate colour and located to minimise visibility from the street or other public area.

## 5.5 FACADE VARIATION

A primary facade design will not be approved where the same (or overly similar) facade design has been built or approved within 4 neighbouring lots.





## 6.0

# COLOURS & MATERIALS

# ALWOOD: DESIGN GUIDELINES

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## 6.0 COLOURS & MATERIALS

### 6.1 OBJECTIVES

Recommend house designs that are versatile and contemporary in character and adopt natural and sustainable materials.

To ensure the use of appropriate colours that balance individual expression with naturally occurring tones of the Victorian landscape.

To ensure designs respect and respond to the character of the street and neighbourhood

### 6.2 WALLS

A minimum of two materials must be used on nominated facades. No single material can comprise greater than 75% of the façade. This applies to:

- Front elevations – all lots
- Side and/or rear elevations which face a street or reserve

**Note:** Contrast brickwork or contrast render may be acceptable as a second material, however, selection must reflect an appropriate high quality finish. Items such as the roof, garage door or windows cannot be included as a second material.

Preferred materials are:

- Face brickwork
- Rendered lightweight cladding or masonry
- Weatherboards/cement composite materials (such as scyon cladding) in contemporary clean line styles.
- Timber cladding
- Corrugated colorbond cladding
- Selective use of stone or tile cladding

Materials and finishes such as galvanised metal, raw fibre cement sheet, raw zincalume, reflective glazing and stained glass are not permitted.

### 6.3 ROOF

The use of corrugated colorbond is recommended with a preferred use of lighter coloured roof material.

Slate, concrete or terracotta roof tiles in a flat or slimline profile are also acceptable.

### 6.4 GARAGE DOOR

Garage door profile and colour must compliment the design and colour scheme of the dwelling. A natural timber colour or finish is preferred.

Coffered or rectangular relief patterns will not be approved.



# ALWOOD: DESIGN GUIDELINES

## 6.5 EXTERNAL COLOURS

All external colours must be neutral, muted tones, generally consistent with or equivalent to those shown in example colour palette below.

**Bolder colours may be permitted for small areas of a façade. Bright tones or heritage colours will not be permitted.**

The final decision relating to all external materials and colours will be at the discretion of the DAP.

## 6.6 WASTE MANAGEMENT

Waste management initiatives and practices are essential during the construction phase of the dwelling. Builders are to include recycling practices where possible, which include but are not limited to:

- The use of skips rather than cages
- Maintenance of waste records
- Use of contractors who transport waste to a licensed recycling centre
- Select materials and products which minimise and/or recycle packaging
- Maximise the use of standard sizes of materials wherever possible

Disposal of all hazardous substances, pollutants and contaminants are to be in accordance with all state regulatory requirements. Where these materials are treated or used on site, they must be in accordance with a sanctioned remediation process.

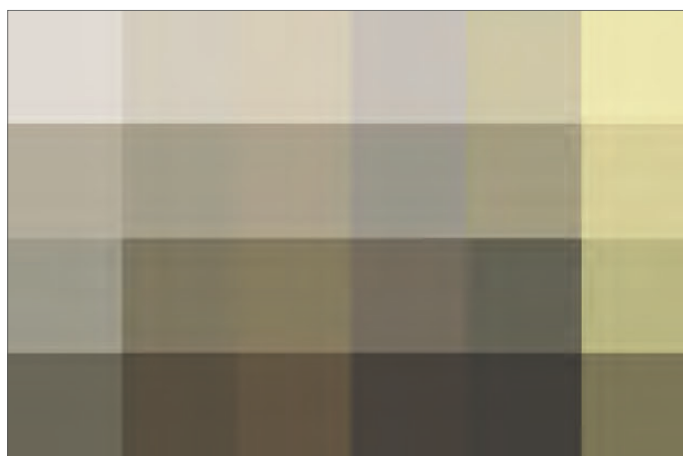
## 6.7 EMISSIONS

Mandatory use of low emission paints, sealants and adhesives in the construction of the dwelling. Extent relates to:

- Use low emission paints on ≥95% of internal and external painted surfaces
- Use low emission sealants on ≥95% of internal and external painted surfaces
- Use low emission adhesives on ≥95% of internal and external painted surfaces
- Use low emission floor coverings on ≥95% indoor covered floors
- All engineered wood products are EO rated

The final decision relating to all external materials and colours will be at the discretion of the DAP.

## EXAMPLE COLOUR PALETTE





# ALWOOD: DESIGN GUIDELINES

## 7.0 SETBACKS

### 7.1 OBJECTIVES

To create continuity of urban form and an articulated streetscape that respects the view corridors to landscaped areas and focal points within the neighbourhood.

To extend the landscape design of the streetscape into the front setback of each lot.

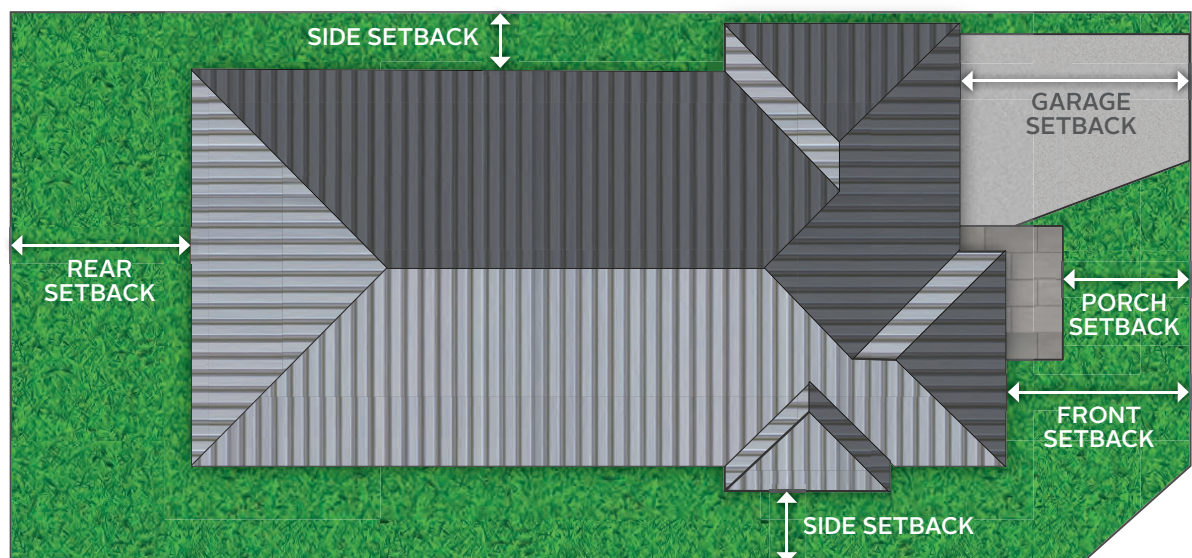
To create a house frontage not dominated by cars and garages.

### 7.2 REQUIREMENTS

Lots 300m<sup>2</sup> or greater:

- Setbacks must comply with Part 4 of the Building Regulations 2006 and Clause 54 of the Wyndham Planning Scheme as applicable.:
- Garages must be setback behind the front wall of the dwelling by at least 500mm and at least 5.0m from the front boundary

#### EXAMPLE OF RELEVANT SETBACKS:





## 8.0

# FENCES

# ALWOOD: DESIGN GUIDELINES

## 8.0 FENCES

### 8.1 OBJECTIVES

To improve visual appearance of the street and extend the garden frontage into the street landscape.

To enable increased interaction, activity and community safety within the neighbourhood.

### 8.2 FRONT FENCING

Fences are not permitted along front boundaries or anywhere in the front yard.

To define the property boundaries screening plants are acceptable alongside boundaries in the front yard. A nominal height of 1.2m high planting is preferred to maintain clear sight lines.

### 8.3 SIDE & REAR FENCING

Fences must not extend past the primary façade front wall.

Fences alongside and rear boundaries must be constructed using timber palings, a timber cap and 75mm X 125mm timber posts, exposed to both sides of the fence. Fencing must be constructed to a height of 1.95m.

Fences must return at 90 degrees to abut the dwelling or garage (wing fence). These fences, including any gates, must be constructed from timber palings to match the boundary fencing, or from a complimentary timber style such as merbau slats. Wing fences/gates must be setback to allow access to meter boxes.

### 8.4 CORNER FENCING

Fences alongside boundaries which abut a road must stop at least 3m behind the primary façade and behind the corner feature. To create interest and break up the visual bulk of the fencing, corner fencing must include 15mm gaps between each paling for at least 2 fencing sections.

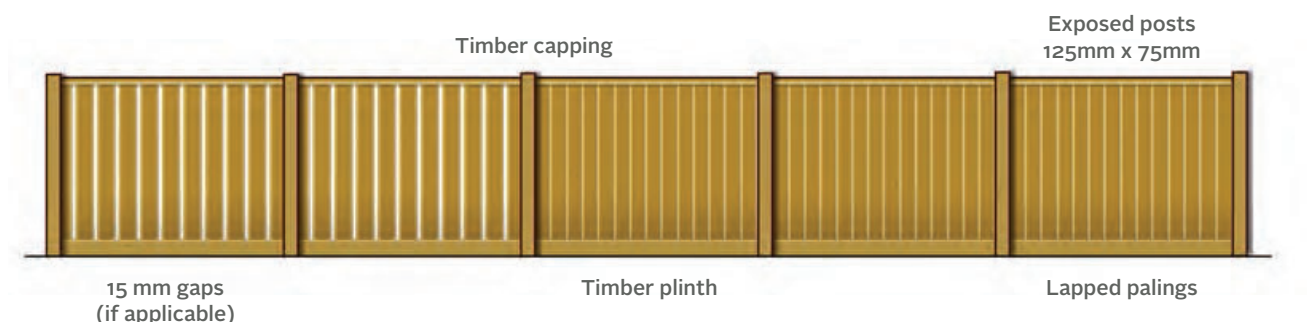
If the main entry is located on the side elevation then both street frontage boundaries should remain unfenced. A limited amount of fencing may be permitted along the secondary frontage boundary with the approval of the DAP, however, no fencing will be permitted along the primary frontage boundary.

### 8.5 GENERAL

All boundary fencing must be constructed prior to Occupancy.

The location and design of all fences must be detailed on your plans and submitted to DAP for approval along with the signed fencing template (refer to section 12.0).

The final decision relating to all external materials and colours will be at the discretion of the DAP.







# ALWOOD: DESIGN GUIDELINES

## 9.0 DRIVEWAYS

### 9.1 OBJECTIVES

Driveways should be constructed to blend with proposed dwelling facade colours in subdued, natural tones in a finish that will be appropriate for vehicle use.

### 9.2 REQUIREMENTS GENERAL

Driveways must be constructed from either:

- Masonry pavers
- Exposed aggregate
- Coloured concrete
- Stamped or stenciled masonry surface

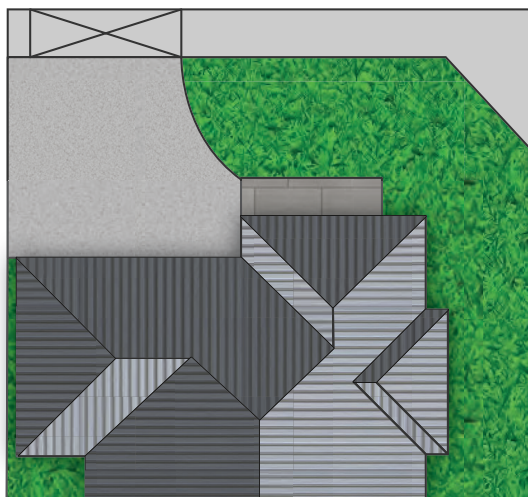
Driveways must be tapered to generally match crossover width and must be setback at least 400mm from the closest side boundary to allow for a landscaping strip.

A limited amount of additional concreting within the front yard (ie, pathways, paving) may be permitted with the approval of the DAP. Refer to the landscaping section for further information.

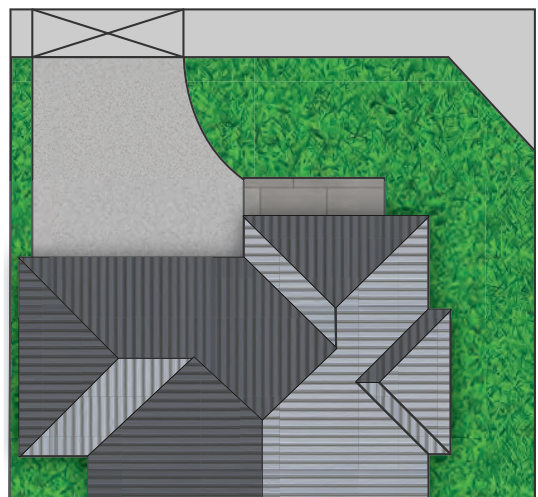
Driveways must be constructed within 3 months of receiving your Certificate of Occupancy.



- No offset from side boundary
- Too wide at front boundary



- Min 400mm offset from side boundary
- Tapering from garage to front boundary





## 10.0

# SERVICES & ANCILLARY ITEMS

# ALWOOD: DESIGN GUIDELINES

## 10.0 SERVICES & ANCILLARY ITEMS

### 10.1 OBJECTIVES

To ensure, where possible, that ancillary items are screened from public view and finished to blend with the dwelling.

To ensure the location and design of any ancillary items will not adversely affect the amenity of neighbours.

### 10.2 REQUIREMENTS GENERAL

Unightly services and other ancillary items must be located out of public view where possible and of an appropriate size, colour and finish. This would include (but is not limited to) items such as:

- External plumbing (excluding gutters & downpipes)
- Evaporative cooling units
- Split system heating/cooling units
- Antennae and aerials
- Satellite dishes
- Clothes lines
- Meterboxes
- Hot water units

The location of solar panels will be assessed on a case by case basis by the DAP, to optimize solar orientation.

Metal security shutters or fabric awnings to windows are not permitted.

Service areas to accommodate bins, clothes lines and mechanical equipment should be well integrated with the house design. Any external service areas must be well buffered from adjoining properties by screening and planting. These elements must be located to minimise visibility from the street.



Roof mounted fixtures on front half of roof, protruding above roof ridgeline and not coloured to suit the roof



Roof mounted fixtures located discreetly and coloured appropriately



# 11.0

## AMENITY IMPACTS



# ALWOOD: DESIGN GUIDELINES

## 11.0 AMENITY IMPACTS

### 11.1 OBJECTIVES

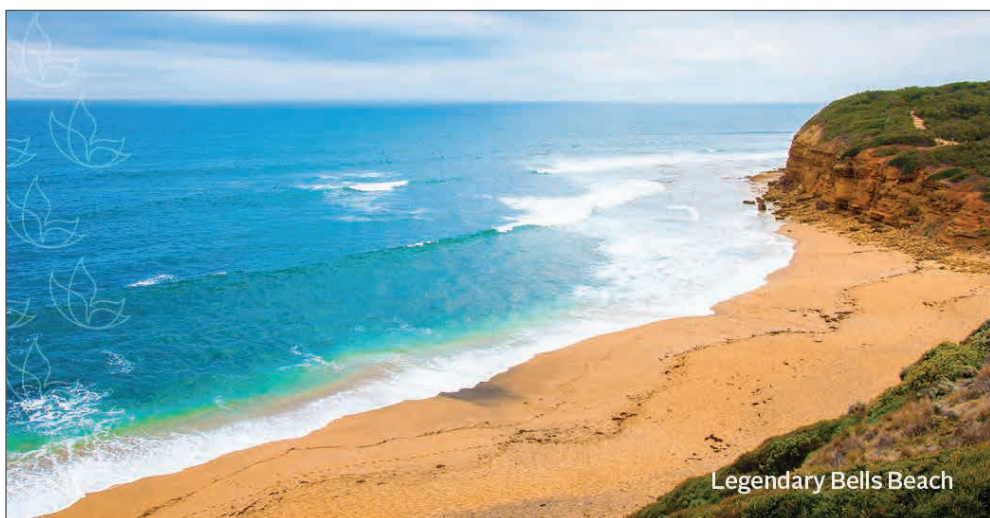
To limit views into existing secluded private open space and habitable room windows of neighbouring dwellings.

To ensure buildings do not significantly overshadow the secluded private open space and habitable room windows of neighbouring dwellings.

### 11.2 OVERLOOKING & OVERSHADOWING

All dwellings, particularly double story designs which incorporate first floor living areas and balconies, should be designed to minimize overlooking and overshadowing of neighbouring properties.

Designs must also comply with any applicable provisions of Part 4 of the Building Regulations 2006 and/or Clause 54 of Council's Planning Scheme.





# ALWOOD: DESIGN GUIDELINES

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## 12.0 LANDSCAPING

### 12.1 OBJECTIVES

To ensure all private gardens are an extension of the street and community landscape that are well designed to create attractive visual spaces between lots and within each house.

To create private, safe and useable outdoor areas with a mix of hard (eg. Decks, terraces and paving) and soft finishes (eg. Grass, mulch and planting).

Residents are to adopt drought tolerant plants (minimum of 70% of total planting), preferably indigenous species adapted to the local environment. Planting selection should seek to present well in all seasons.

To limit the areas of paved surfaces within each allotment and increase areas of permeability to ensure a greener outcome.

### 12.2 REQUIREMENTS GENERAL

No more than 25% of the front yard is to be comprised of impermeable surfaces (concrete or pathways, pavers, etc). The driveway is to be excluded from this calculation.

Residential garden frontages shall compliment the built form of the house and seek to achieve a seamless transition between street and house.

Letterboxes must be designed and sited to match and compliment the dwelling design. Single post supporting letterboxes will not be permitted.

All areas of the landscaping that are not paved are to be landscaped using plants, grass, shrubs, groundcovers or trees. Front landscaping works should include the following as a minimum standard:

- Fine grading and shaping of planting and lawn areas.
- Garden beds comprised of mulch and/or pebbles
- Small areas of lawn (or lawn substitute)
- At least 30 shrubs
- At least 1 tree (semi advanced at planting) (Selected for the scale of the house and available area).

Alternatives to the above will be assessed on their merits.

**Landscaping of your front garden must be completed within 3 months of receiving your Certificate of Occupancy.**

Gardens and nature strips are to be maintained by residents to an acceptable standard.



# ALWOOD: DESIGN GUIDELINES

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## EXAMPLES OF PREFERRED LANDSCAPING OUTCOMES:



# ALWOOD: RECOMMENDED PLANTING LIST

Botanical Name	Common Name	Size	Origin
<b>Trees</b>			
Acacia dealbata	Silver Wattle	12.0 x 8.0m	Indigenous
Acacia melanoxylon	Blackwood	12.0 x 8.0m	Indigenous
Acacia paradoxa	Hedge Wattle	4.0 x 5.0m	Indigenous
Acacia pycnantha	Golden Wattle	7.0 x 4.0m	Indigenous
Allocasuarina verticillata	Drooping Sheoke	8.0 x 5.0m	Indigenous
Angophora hispida	Dwarf Apple	8.0 x 6.0m	Native
Banksia integrifolia	Coastal Banksia	15.0 x 8.0m	Native
Corymbia ficifolia	Red Flowering Gum	7.0 x 6.0m	Native
Corymbia ficifolia 'Summer Red'	Dwarf Red Flowering Gum	3.0 x 4.0m	Native
Eucalyptus caesia	Silver Princess	6.0 x 5.0m	Native
Eucalyptus leucoxylon 'Rosea'	Yellow Gum	13.0 x 8.0m	Native
Eucalyptus melliodora	Yellow Box	20.0 x 15.0m	Indigenous
Eucalyptus pressiana	Bell Fruited Mallee	5.0 x 4.0m	Native
Eucalyptus polyanthemus	Red Box	20.0 x 15.0m	Indigenous
Zelkova serrata 'Green Vase'	'Green Vase' Zelkova	14.0 x 10.0m	Exotic
Pyrus calleryana 'Capital'	'Capital' Ornamental Pear	10.0 x 4.0m	Exotic
Ulmus parvifolia 'Todd'	Chinese Elm	12.0 x 10.0	Exotic
<b>Shrubs</b>			
Acacia acinacea	Gold Dust Wattle	2.0 x 2.0m	Indigenous
Acacia boormanii	Snowy River Wattle	4.0 x 3.5m	Native
Acacia cognate	'Green Mist' Weeping Beauty	1.0 x 2.0m	Native
Acacia retinodes var. uncifolia	Wirilda	5.0 x 3.0m	Indigenous
Agonis flexuosa 'Nana'	Dwarf Willow Myrtle	1.0 x 1.0m	Native
Alyogyne huegii 'West Coast Gem'	Native Hibiscus	2.0 x 2.0m	Native
Atriplex cinerea	Coast Saltbush	1.5 x 3.0m	Indigenous
Atriplex semibaccata	Berry Saltbush	0.4 x 2.0m	Indigenous
Banksia marginata	Silver Banksia	5.0 x 3.0m	Indigenous
Bursaria spinosa var. spinosa	Sweet Bursaria	3.0 x 2.5m	Indigenous
Callistemon 'Captain Cook'	Captain Cook Bottlebrush	1.2 x 1.5m	Native
Callistemon 'Harkness'	Harkness Bottlebrush	6.0 x 5.0m	Native
Callistemon sieberi	River Bottlebrush	3.0 x 2.0m	Indigenous
Chamelaucium uncinatum	Geraldton Wax Flower	1.2 x 1.5m	Native
Correa reflexa 'Dusky Bells'	Dusky Bells	1.0 x 1.5m	Native
Correa glabra	Rock Correa	1.0 x 1.5m	Indigenous
Correa pulchella 'Orange Glow'	'Orange Glow' Correa	0.6 x 0.8m	Native
Crocea saligna	Star Crocea	1.5 x 1.0m	Native



## ALWOOD: RECOMMENDED PLANTING LIST

Darwinia oxylepis	Mountain Bell's	1.0 x 0.8m	Native
Dodonaea viscosa ssp. cuneata	Wedge-leaf Hop-bush	3.0 x 2.0m	Indigenous
Dryandra nivea	Couch Honey-pot	0.7 x 0.7m	Native
Eremophila nivea	Silky Emu Bush	1.5 x 1.5m	Native
Grevillea bipinnatifida	Fuchsia Grevillea	0.7 x 1.5m	Native
Grevillea hookeriana	Hooker's Grevillea	3.0 x 3.0m	Native
Grevillea lanigera 'Mt.Tamboritha'	Woolly Grevillea	0.5 x 1.0m	Native
Grevillea 'Robyn Gordon'	Grevillea Robyn Gordon	1.0 x 1.5m	Native
Hebe 'Wiri Splash'	'Wiri Splash' Hebe	1.0 x 1.5m	Exotic
Hymenanthera dentata	Tree Violet	2.0 x 2.0m	Indigenous
Leptospermum lanigerum	Woolly Tea-tree	4.0 x 3.0m	Indigenous
Leucophyta brownii	Cushion Bush	1.0 x 1.0m	Native
Melaleuca lanceolata	Moonah	6.0 x 5.0m	Indigenous
Metrosideros 'Tahiti'	New Zealand Christmas Bush	2.0 x 1.0m	Exotic
Philotheca myoporoides	Wax Flower	2.0 x 3.0m	Native
Pittosporum 'Miss Muffett'	Miss Muffett Pittosporum	1.0 x 1.5m	Exotic
Pimelea glauca	Smooth Rice-flower	0.6 x 0.9m	Indigenous
Rhagodia candolleana ssp.	Seaberry Saltbush	1.5 x 3.0m	Indigenous
Sambucus gaudichaudiana	White Elderberry	2.0 x 2.0m	Indigenous
Thryptomene saxicola	Thryptomene	1.0 x 1.0m	Native
Westringia fruticosa 'Wynabbie Gem'	Coastal Rosemary	2.0 x 1.5m	Native
<b>Grasses &amp; Tussocks</b>			
Agave attenuate	Century Plant	1.0 x 1.0m	Exotic
Austrodanthonia caespitose	Common Wallaby-grass	1.0 x 0.8m	Indigenous
Austrodanthonia duttoniana	Brown-back Wallaby-grass	0.4 x 0.5m	Indigenous
Austrostipa setacea	Corkscrew Spear-grass	0.8 x 0.6m	Indigenous
Austrostipa stipoides	Prickly Spear-grass	0.6 x 0.8m	Indigenous
Carex alba 'Frosty Curls'	Frosty Curls	0.3 x 0.4m	Native
Conostylis candicans	Grey Cottonheads	1.0 x 1.0m	Native
Dianella longifolia	Pale Flax-lily	0.8 x 1.0m	Indigenous
Dianella revoluta	Black-anther Flax-lily	1.0 x 2.0m	Indigenous
Dietes grandiflora	Wild Iris	1.0 x 1.2m	Exotic
Isolepis nodosa	Knobby Club-rush	1.2 x 0.8m	Indigenous
Lomandra filiformis	Wattle Mat-rush	0.2 x 0.3m	Indigenous
Lomandra longifolia	Spiny-headed Mat-rush	1.0 x 1.2m	Indigenous
Lomandra 'Tanika'	Tanika	0.5 x 0.4m	Native
Microlaena stipoides	Weeping Grass	0.3 x 1.0m	Indigenous
Pattersonia occidentalis	Long Purple Flag	0.3 x 0.4m	Native

# ALWOOD: RECOMMENDED PLANTING LIST

Phormium tenax	New Zealand Flax	2.0 x 2.5m	Exotic
Poa labillardieri	Common Tussock-grass	1.2 x 0.8m	Indigenous
Poa poiformis	Blue/Coast Tussock-grass	0.7 x 0.6m	Indigenous
Strelitzia reginae	Bird of Paradise	1.5 x 1.0m	Exotic
Themeda triandra	Kangaroo Grass	0.5 x 0.6m	Indigenous
<b>Herbs</b>			
Brachyscome dentata	Lobe-seed Daisy	0.3 x 0.3m	Indigenous
Brachyscome multifida	Cut Leaf Daisy	0.2 x 0.4m	Native
Calocephalus citreus	Lemon Beauty-heads	0.3 x 0.4m	Indigenous
Chrysocephalum apiculatum	Common Everlasting	0.4 x 0.6m	Indigenous
Chrysocephalum semipapposum	Clustered Everlasting	0.6 x 0.6m	Indigenous
Craspedia paludicola	Swamp Billy-buttons	0.5 x 0.3m	Indigenous
Helichrysum scorpioides	Button Everlasting	0.3 x 0.3m	Indigenous
Pelargonium australe	Austral Stork's-bill	0.4 x 0.3m	Indigenous
Ptilotus macrocephalus	Feather-heads	0.3 x 0.4m	Indigenous
Stackhousia monogyna	Creamy Candles	0.6 x 0.5m	Indigenous
Teucrium racemosum	Grey Germander	0.4 x 0.4m	Indigenous
Wahlenbergia communis	Tufted Bluebell	0.3 x 0.4m	Indigenous
Wahlenbergia gracilentia	Annual Bluebell	0.2 x 0.4m	Indigenous
<b>Groundcovers</b>			
Burchardia umbellata	Milkmaids	0.5 x 0.4m	Indigenous
Carpobrotus rossii	Karkalla	0.1 x 3.0m	Indigenous
Convolvulus erubescens	Pink Bindweed	0.1 x 2.0m	Indigenous
Dichondra repens	Kidney-weed	0.1 x 3.0m	Indigenous
Disphyma crassifolium ssp.	Rounded Noon-flower	0.1 x 3.0m	Indigenous
Grevillea x gaudichaudii	Prostrate Grevillea	0.1 x 3.0m	Native
Kennedia prostrata	Running Postman	0.1 x 2.0m	Indigenous
Lobelia pratioides	Poison Lobelia	0.3 x 1.0m	Indigenous
Scaevola amuela	Fan Flower	0.2 x 2.0m	Native
Tetragonia implexicoma	Bower Spinach	0.2 x 3.0m	Indigenous
Viola hederacea	Native Violet	0.1 x 2.0m	Indigenous
<b>Climbers</b>			
Clematis microphylla	Small-leaved Clematis	Climbing	Indigenous
Glycine tabacina	Variable Glycine	Climbing	Indigenous
Muehlenbeckia adpressa	Climbing Lignum	Climbing	Indigenous
Hardenbergia violacea	Coral Pea	Climbing	Native
Hibbertia scandens	Snake Vine	Climbing	Native
Pandorea pandorana	Wonga Wonga Vine	Climbing	Native

**Please Note:**

Some plants species are classed as weeds - generally due to their invasive nature or potential to dilute the genetic character of local indigenous planting. These weed species are prohibited and must not be planted. It is encouraged that owners undertake their own research when selecting species for landscaping. The links below may be a useful resource.

<http://www.wyndham.vic.gov.au/environment/landbiodiversity/landmanagement/weeds>

<http://www.environment.gov.au/biodiversity/invasive/weeds/>

[http://vro.depi.vic.gov.au/dpi/vro/vrosite.nsf/pages/lwm\\_pest\\_plants](http://vro.depi.vic.gov.au/dpi/vro/vrosite.nsf/pages/lwm_pest_plants)



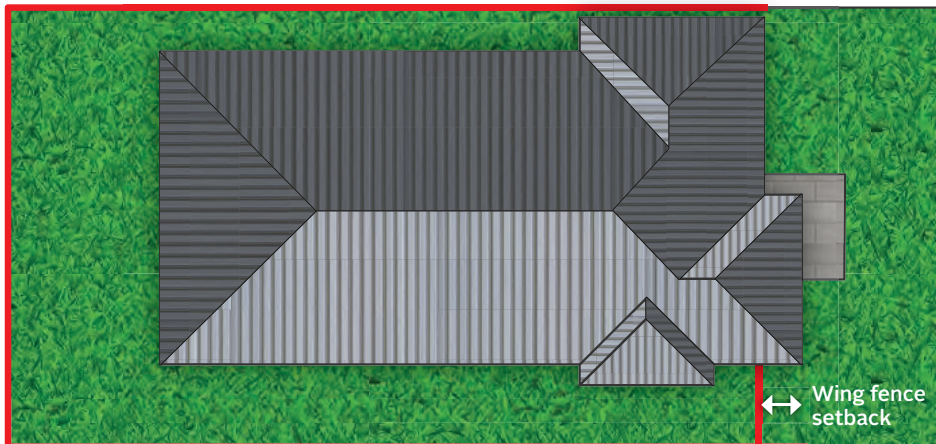
## 13.0

# FENCING TEMPLATES

# ALWOOD: DESIGN GUIDELINES

## 13.0 FENCING TEMPLATES

### STANDARD LOT

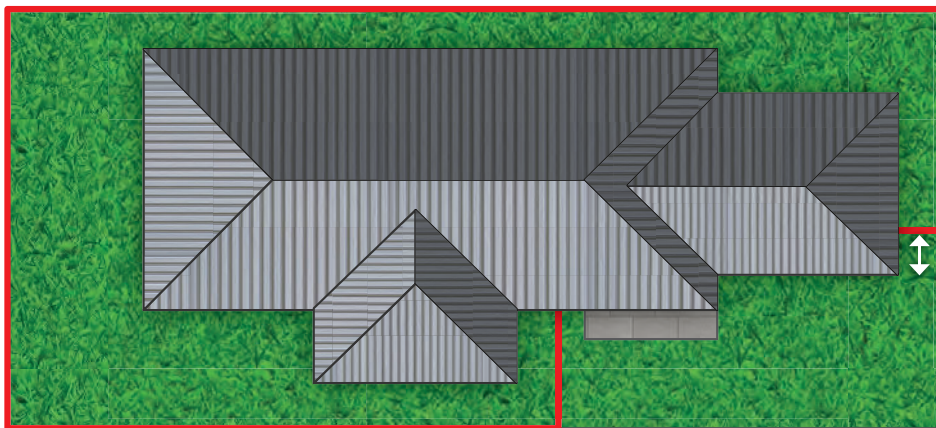


Fencing to side boundary not to extend past front facade wall

ROAD

Fencing to side boundary not to extend past front facade wall

### LOT 79 (STANDARD LOT)



LOT 78

Wing fence setback

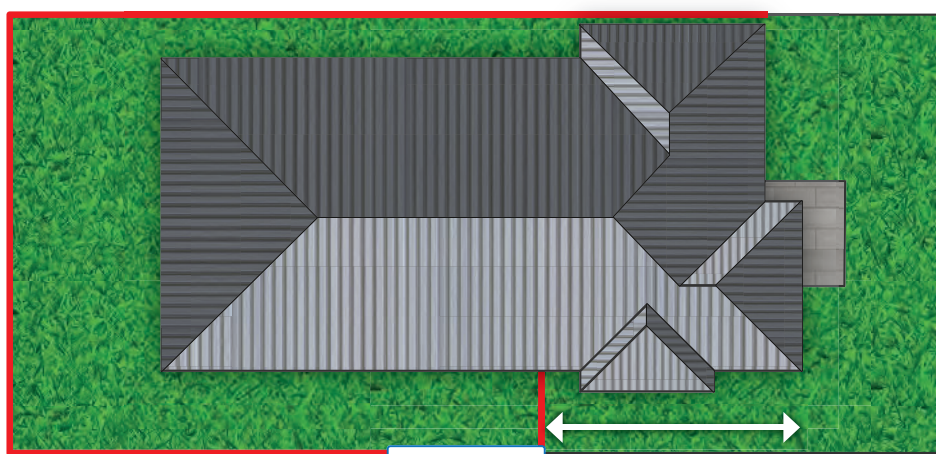
Fencing to extend for entire length of boundary

LOT 80

Fencing not to extend within 5m of the primary frontage

ROAD

### CORNER LOT



Fencing to side boundary not to extend past front facade wall

ROAD

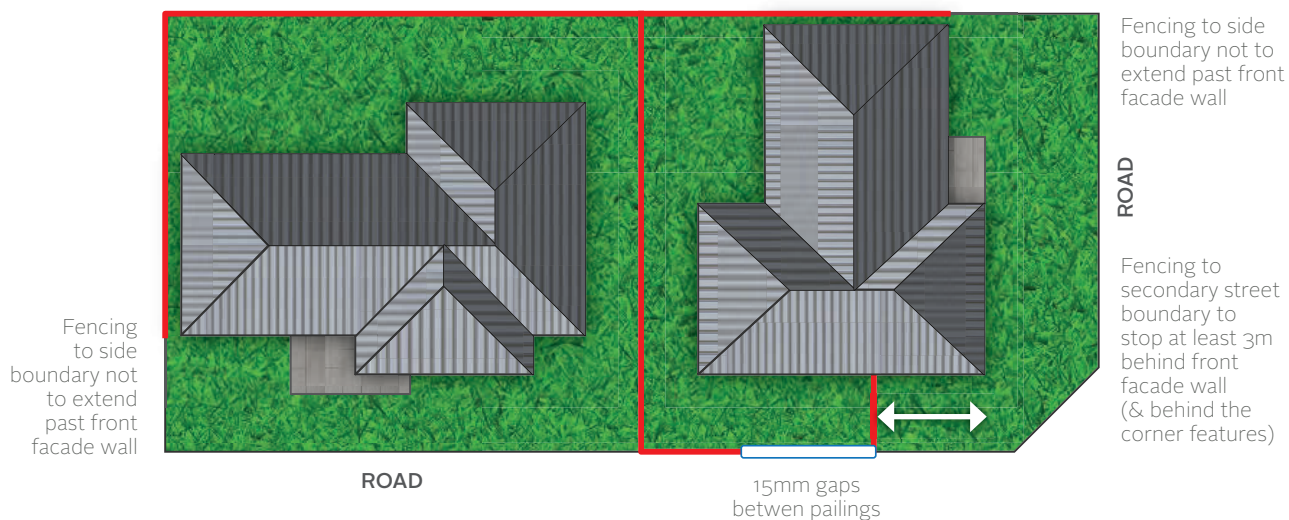
Fencing to second street boundary to stop at least 3m behind front facade wall (& behind the corner feature)

ROAD

15mm gaps between pailings

# ALWOOD: DESIGN GUIDELINES

## COMPACT LOT (2 SEPARATE LOTS SHOWN)



I/we, being the property owners of lot\_\_\_\_\_, hereby confirm that I/we will construct all fencing in accordance with the Alwood Design Guidelines and the relevant fencing template (including fence height, location, style and materials).

Lot Type (please tick)      ☐ Standard      ☐ Corner      ☐ Compact

Name..... Name .....

Signed ..... Signed.....

Date ..... Date.....





# ALWOOD: DESIGN GUIDELINES

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## OWNER DETAILS

Lot Number..... Street.....

Owner Details..... Name/s.....

Contact Number/s ..... Email.....

Postal Address.....

## BUILDER DETAILS

Company ..... Contact Person.....

Contact Number/s..... Email.....

Postal Address.....

## APPLICANT DETAILS (IF DIFFERENT FROM ABOVE)

Company ..... Contact Person.....

Contact Number/s..... Email.....

Postal Address.....

### ATTACHED:

- ☐ SITE PLAN
- ☐ FLOOR PLAN
- ☐ ELEVATIONS
- ☐ EXTERNAL COLOURS & MATERIALS
- ☐ SIGNED FENCING TEMPLATE
- ☐ SUSTAINABILITY COMPLIANCE REPORT

### SUBMITTED BY:

NAME .....

DATE.....

# ALWOOD: DESIGN GUIDELINES

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## CHECKLIST:

- ☐ CONTEMPORARY FAÇADE DESIGN
- ☐ MAIN ENTRY LOCATED ON THE FRONT ELEVATION
- ☐ FRONT FAÇADE DOES NOT CONTAIN LARGE AREAS OF BLANK OR UNARTICULATED WALL
- ☐ APPROPRIATE CORNER FEATURE INCLUDED (IF APPLICABLE)
- ☐ STREET ELEVATIONS DO NOT CONTAIN ANY SLIDING WINDOWS
- ☐ CONTEMPORARY FRONT ENTRY DOOR
- ☐ STREET ELEVATIONS DO NOT CONTAIN ANY LIGHTWEIGHT MATERIALS ABOVE GARAGE DOOR, WINDOWS & DOORS
- ☐ FACADE WIDTH COMPLIES WITH APPLICABLE REQUIREMENT
- ☐ GARAGE DESIGN DOES NOT DOMINATE THE STREET ELEVATION
- ☐ GARAGE DOOR OPENING/S DO NOT EXCEED 40% OF THE LOT FRONTAGE
- ☐ ENCLOSED GARAGE FOR AT LEAST 1 VEHICLE PROVIDED
- ☐ SECTIONAL OR TITLE STYLE GARAGE DOOR
- ☐ ROOF PITCH DOES NOT EXCEED 25 DEGREES
- ☐ MINIMUM 450MM EAVES PROVIDED TO STREET ELEVATIONS
- ☐ EAVES CONTINUE FOR AT LEAST 3M ALONG THE ADJOINING ELEVATIONS.
- ☐ ANY PROPOSED ROOF MOUNTED FIXTURES ARE COLOURED AND POSITIONED APPROPRIATELY
- ☐ STREET ELEVATIONS CONTAIN AT LEAST TWO MATERIALS
- ☐ SECOND MATERIAL COMPRISES AT LEAST 25% OF STREET ELEVATIONS
- ☐ DESIGN DOES NOT CONTAIN ANY GALVANISED METAL, RAW FIBRE CEMENT SHEET, RAW ZINCALUME, REFLECTIVE GLAZING STAINED GLASS OR SIMILAR
- ☐ FLAT OR SLIMLINE ROOF TILE (IF APPLICABLE)
- ☐ GARAGE DOOR DESIGN DOES NOT INCLUDE COFFERED OR RECTANGULAR RELIEF PATTERNS
- ☐ EXTERNAL COLOURS ARE NEUTRAL, MUTED TONES
- ☐ APPROPRIATE ENVIRONMENTAL WASTE MANAGEMENT PRACTICES WILL BE UNDERTAKEN DURING CONSTRUCTION
- ☐ LOW EMISSION PAINTS, SEALANTS AND ADHESIVES WILL BE USED
- ☐ SETBACKS COMPLY WITH PART 4 OF THE BUILDING REGULATIONS 2006 AND CLAUSE 54 OF THE WYNDHAM PLANNING SCHEME AS APPLICABLE (FOR LOTS EXCEEDING 300M<sup>2</sup>)

# ALWOOD: DESIGN GUIDELINES

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- ☐ GARAGE IS SETBACK BEHIND THE FRONT WALL OF THE DWELLING BY AT LEAST 500MM
- ☐ GARAGE IS SETBACK AT LEAST 5.0M FROM THE FRONT BOUNDARY
- ☐ NO FRONT FENCING WILL BE CONSTRUCTED
- ☐ SIDE BOUNDARY FENCING WILL NOT EXTEND PAST THE FRONT FACADE
- ☐ BOUNDARY FENCING WILL BE CONSTRUCTED FROM CAPPED TIMBER PALINGS WITH EXPOSED POSTS, TO A HEIGHT OF 1.95M.
- ☐ APPROPRIATE WING FENCING/GATES WILL BE CONSTRUCTED
- ☐ FENCING TO CORNER SIDE BOUNDARY WILL STOP AT LEAST 3.0M BEHIND THE FRONT FAÇADE AND BEHIND THE CORNER FEATURE
- ☐ FENCING TO CORNER SIDE BOUNDARY WILL INCLUDE 15MM GAPS BETWEEN EACH PALING FOR AT LEAST 2 FENCING SECTIONS.
- ☐ ALL BOUNDARY FENCING WILL BE CONSTRUCTED PRIOR TO OCCUPANCY
- ☐ DRIVEWAY WILL BE CONSTRUCTED FROM MASONRY PAVERS, EXPOSED AGGREGATE, COLOURED CONCRETE OR STAMPED OR STENCILED MASONRY
- ☐ DRIVEWAY WILL GENERALLY MATCH CROSSOVER WIDTH AND WILL BE SETBACK AT LEAST 400MM FROM THE CLOSEST SIDE BOUNDARY
- ☐ DRIVEWAY WILL BE CONSTRUCTED WITHIN 3 MONTHS OF CERTIFICATE OF OCCUPANCY
- ☐ SERVICES AND ANCILLARY ITEMS ARE COLOURED AND POSITIONED APPROPRIATELY
- ☐ MINIMUM 6 STAR NATHERS RATING ACHIEVED
- ☐ CONSIDERATION OF FACTORS RELATING TO SUSTAINABILITY, ORIENTATION, PRIVATE OPEN SPACE, ENERGY EFFICIENCY AND WATER CONSERVATION IN ACCORDANCE WITH THE DESIGN GUIDELINES
- ☐ CONSIDERATION OF POTENTIAL OVERLOOKING/OVERSHADOWING ISSUES
- ☐ DROUGHT TOLERANT SPECIES WILL COMPRISE AT LEAST 70% OF FRONT LANDSCAPE PLANTING
- ☐ FRONT LANDSCAPING WILL NOT CONTAIN MORE THAN 25% OF IMPERMEABLE SURFACES (EXCLUDING THE DRIVEWAY)
- ☐ LETTER DESIGN WILL MATCH AND COMPLIMENT THE DWELLING DESIGN
- ☐ FRONT LANDSCAPING WILL INCLUDE AT LEAST 30 SHRUBS AND 1 TREE
- ☐ FRONT LANDSCAPING WILL BE COMPLETED WITHIN 3 MONTHS OF CERTIFICATE OF OCCUPANCY



ALWOOD DAP

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[alwood.com.au](http://alwood.com.au)

INTRAPAC

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